

80 BOSTON POST ROAD ORANGE, CT

ORANGE LOGISTICS CENTER



115,000 SF WAREHOUSE
FOR LEASE

CAN SUBDIVIDE TO
± 50,000 SF

1.5 MILES TO INTERSTATE
95 VIA EXIT 42

NEWMARK



ORANGE LOGISTICS CENTER

On behalf of DLC Management Group, Newmark's Southern New England/Hudson Valley Industrial Team is pleased to bring to your attention the **"Orange Logistics Center."**

Orange Logistics Center, a unique asset to the marketplace, is an existing 115,000 SF retail building to be converted into an industrial use and be delivered as a vanilla, warm lit shell, with a subdivision possibility.

The property is 1.5 miles from I-95 and 5.0 miles to I-91, serving as a regional access point to the New York City Metro and Southern New England.



LEASING CONTACTS:

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SPECIFICATIONS: EXISTING BUILDING CONVERSION

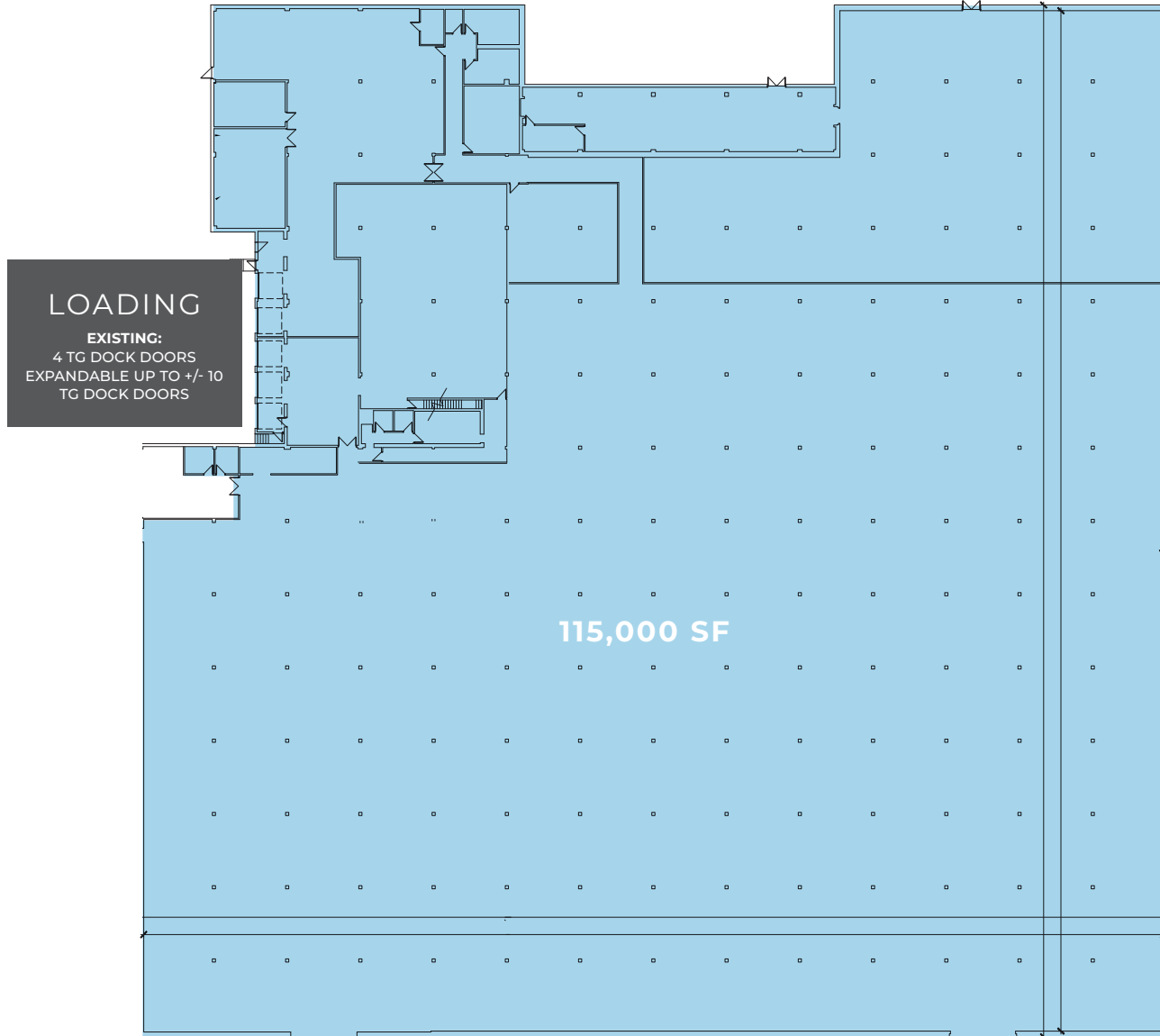


YEAR BUILT/RENOVATED	1966 2022/23 -Planned upgrade
OFFICE DESCRIPTION	Office to be built per tenant request
QUALITY	Good
DIMENSIONS	353' x 353'
CEILINGS	Metal - Steel Truss
CEILING HEIGHTS	16' (Min) - 16' (Max)
COLUMN SPACING	25' x 25'
COLUMNS	Steel Tubular
ROOF	Built up system. Landlord to install a new 60 mil TPO fleece-back system with solar panels.

FLOORS	6" Reinforced Concrete
WALLS	Block
LIGHTING	Lighting to be upgraded to LED units
LOADING	Four tailgate loading docks. An additional 5+ loading docks can be accommodated. Docks to be upgraded to include seals and lights.
GAS	Southern CT Natural Gas
WATER	City - Town of Orange; Regional Water Authority
SEWER	City - Town of Orange; WPCA
POWER	United Illuminating Company; 1,600 amp, 480/277 V, 3 phase

HEAT	Gas - Suspended energy efficient heaters to be installed
A/C	Available upon request
SPRINKLERS	100% wet system
MISCELLANEOUS	Existing retail building to be converted into an industrial use and be delivered as a vanilla, warm lit shell, with a subdivision possibility.
PARKING	200 Employee parking spaces. 37 Trailer parking spaces
LAST USE	Currently retail; to be re-purposed as industrial

FLOOR PLAN: EXISTING BUILDING



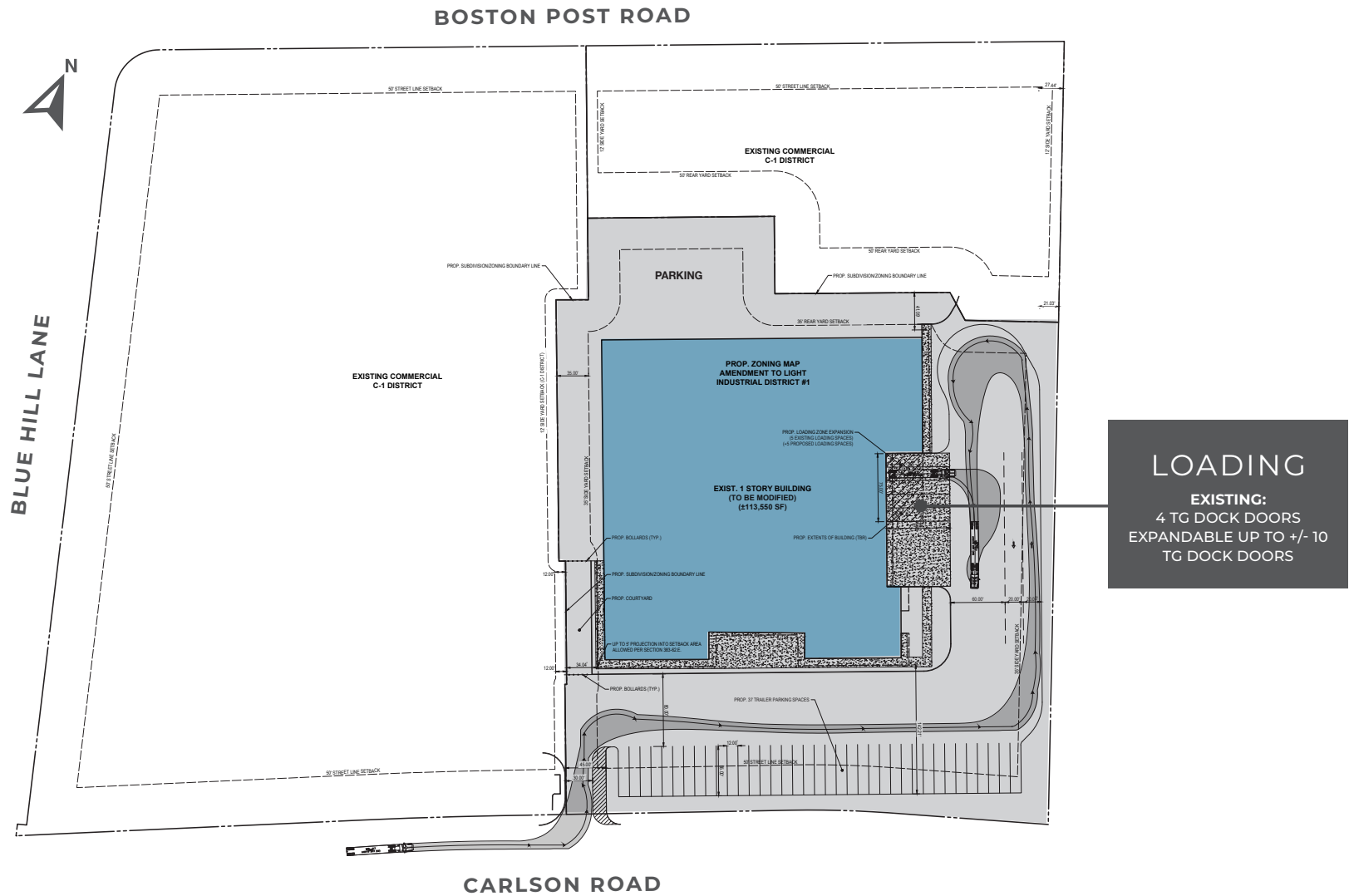
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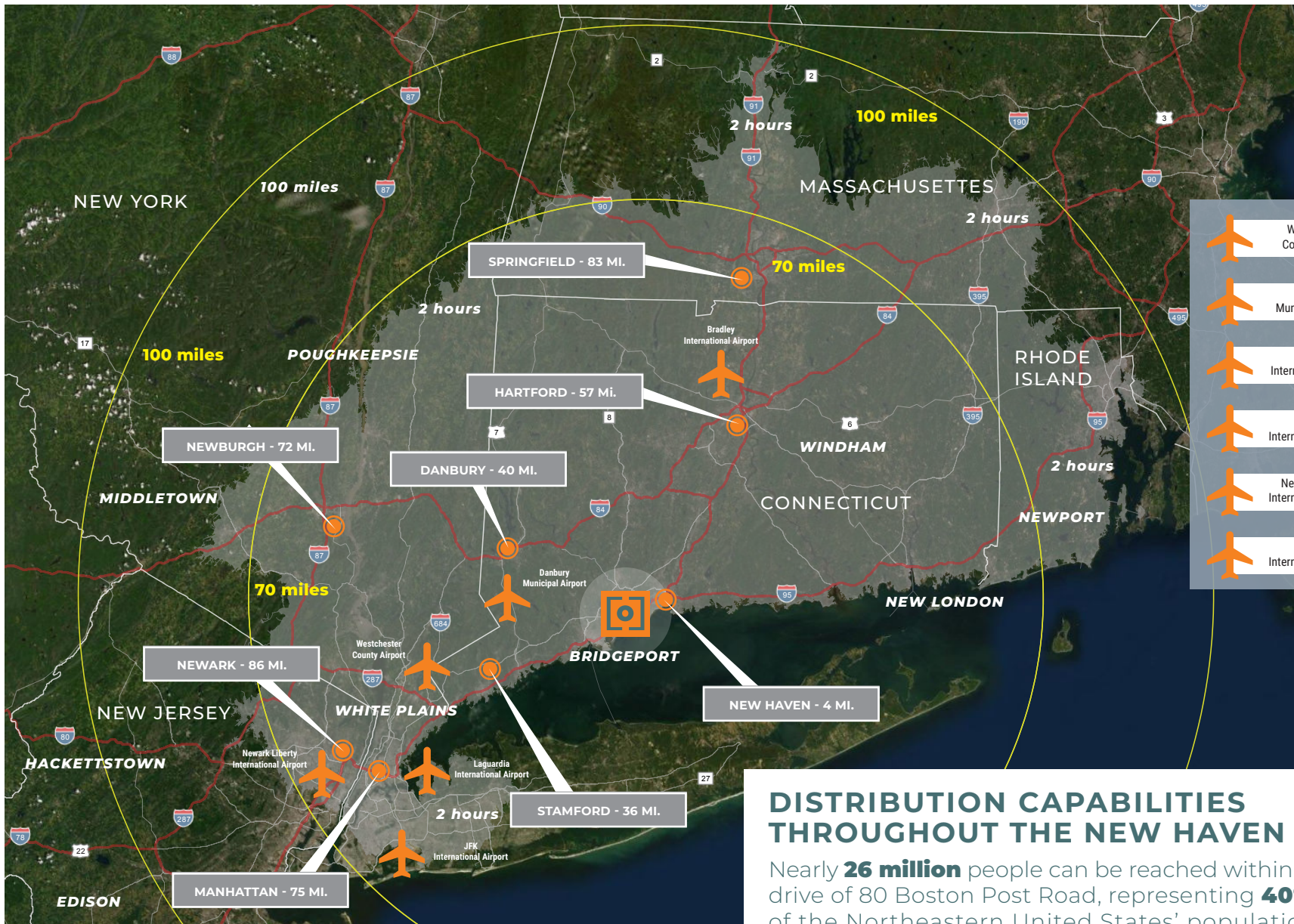
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SITE PLAN: EXISTING BUILDING



EXTENDED SERVICE AREA



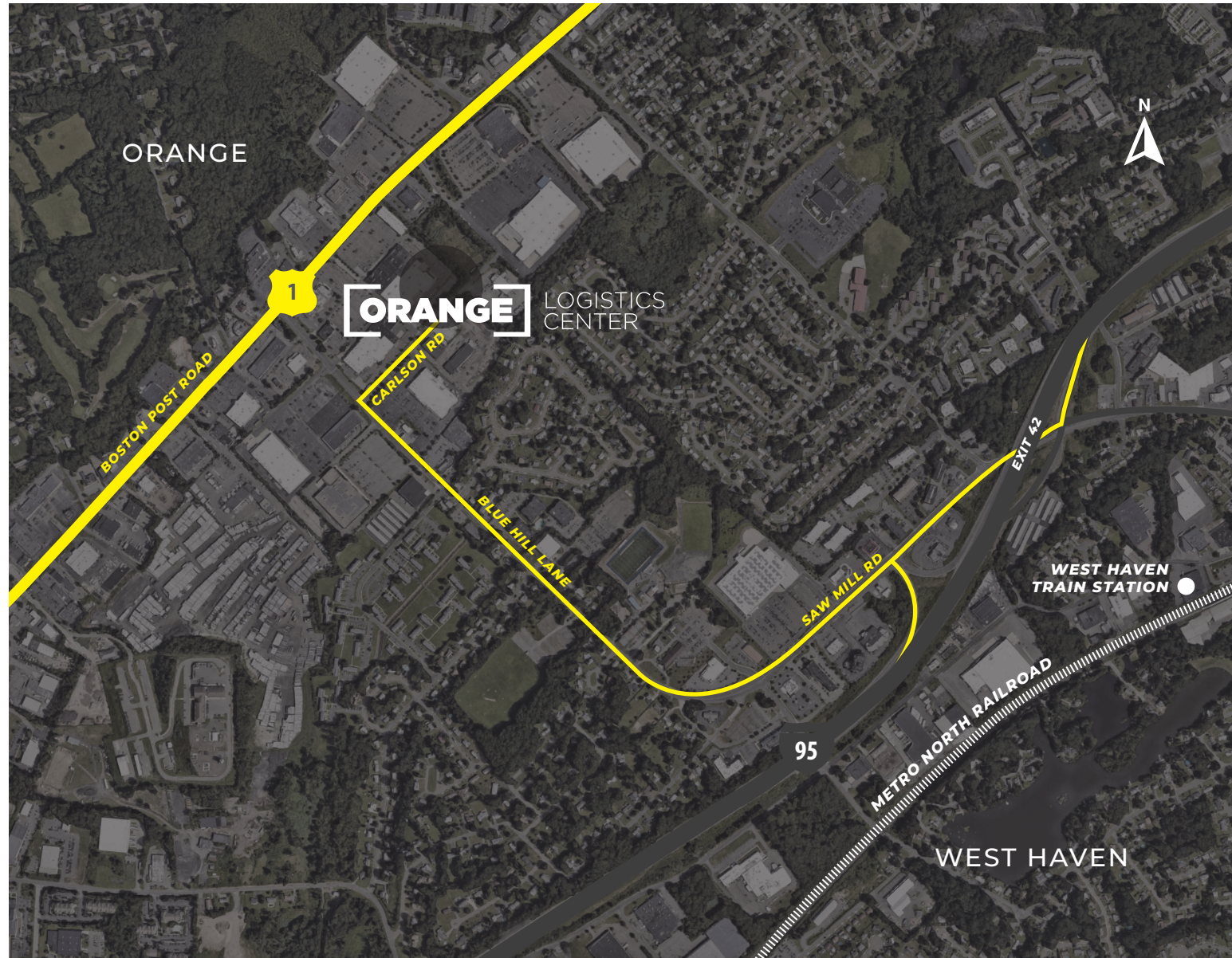
DISTRIBUTION CAPABILITIES THROUGHOUT THE NEW HAVEN METRO

Nearly **26 million** people can be reached within a two-hour drive of 80 Boston Post Road, representing **40%** of the Northeastern United States' population.

PREMIER LOCATION

IDEAL SETTING WITH EASY ACCESS POINTS

- **4 minutes** or 1.5 miles to I-95 via exit 42
- **8 minutes** or 4.3 miles to Merritt Parkway via exit 57
- **12 minutes** or 5.6 miles to I-91
- **6 minutes** or 1.9 miles to West Haven Train Station
- **14 minutes** or 4.3 miles to New Haven Train Station
- **15 minutes** or 4.5 miles to Downtown New Haven
- **55 minutes** to Westchester County Airport
- **60 minutes** to Bradley International Airport
- **75 minutes** to Laganardia International Airport





Exclusively Offered By

NEWMARK

680 Washington Boulevard
Stamford, CT 06901

for more information:

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